



📍 Plot 5, Pickers Palmers Farm Capps Lane, Heywood, Westbury, Wiltshire, BA13 4NE

🔗 £385,000

A rare opportunity to purchase a stunning, three bedroom, contemporary barn conversion with good sized garden and parking for two cars, which forms part of a small, rural development, conveniently situated within short drive of Westbury train station and numerous amenities.

- Small, Select Development Of Contemporary Barn Conversions
- Three Good Sized Bedrooms
- Lovely, Open Living Space With Vaulted Ceiling
- Fabulous Kitchen With Contemporary Units & Integrated Appliances
- Underfloor Heating
- Solar Ready
- Good Sized, Well Enclosed, Landscaped Garden
- Allocated Parking For Three Cars
- Anticipated Completion May/June 2026
- Idyllic, Rural Location

🏠 Freehold

🏠 EPC Rating



A rare opportunity to purchase a stunning, end of terrace, contemporary barn conversion with vaulted ceilings, good sized garden and parking for two cars, which forms part of a small, rural development, conveniently situated within a short drive of Westbury train station and numerous amenities.

The property offers well proportioned comprising; entrance hall with cupboard off, fabulous, open plan sitting/dining room/kitchen with an excellent range of contemporary units, solid wood worktops, integrated appliances and French doors opening onto the garden, two double bedrooms, one single bedroom and a bathroom with modern suite (including a bath and separate shower cubicle), heated mirror and towel rail.

Externally there is an easily maintainable garden to the front with bin store and paved path leading to the front door. To the rear there is a level, good sized garden with paved patio seating area, section of lawn and gated access to the rear. The garden is well enclosed by fencing and enjoys a good deal of privacy.

These impressive properties are going to be solar ready and they'll feature high, vaulted ceilings, underfloor heating via air source heat pumps, and floor coverings throughout. There are only five units available in the first phase and it's important that you register your interest early to avoid disappointment.

Please note; the CGI's and plans are for illustration purposes only and will be updated as the development progresses.

Situation

Heywood is a small village with an active community centre which is situated on the northern outskirts of Westbury. The property is conveniently located within a short drive of Westbury station (approximately 5-10 minutes), a railway hub which provides fast, direct trains to London Paddington and many other parts of the country. The Royal Oak in Hawkeridge is a popular public house which is only a short walk away. Westbury is a market town which sits on the western edge of Salisbury Plain and offers a good range of local shopping and leisure facilities, primary and secondary schooling. Nearby Warminster, Trowbridge and the City of Bath provide a more extensive range of leisure, retail and schooling with the A350 providing good access to the M4 and A303.

Property Information

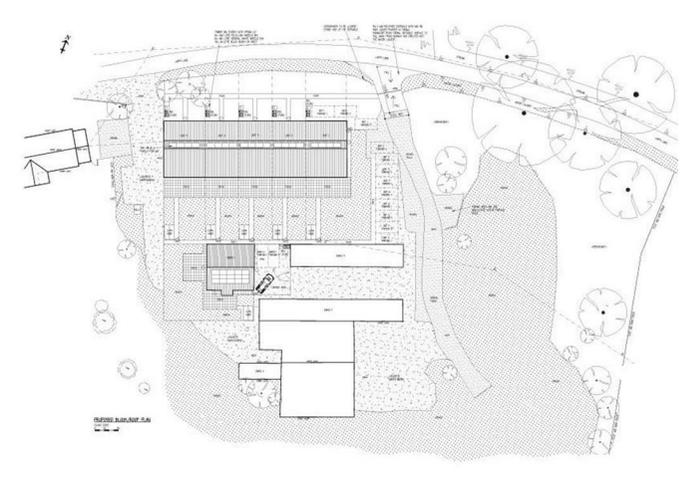
Tenure; Freehold

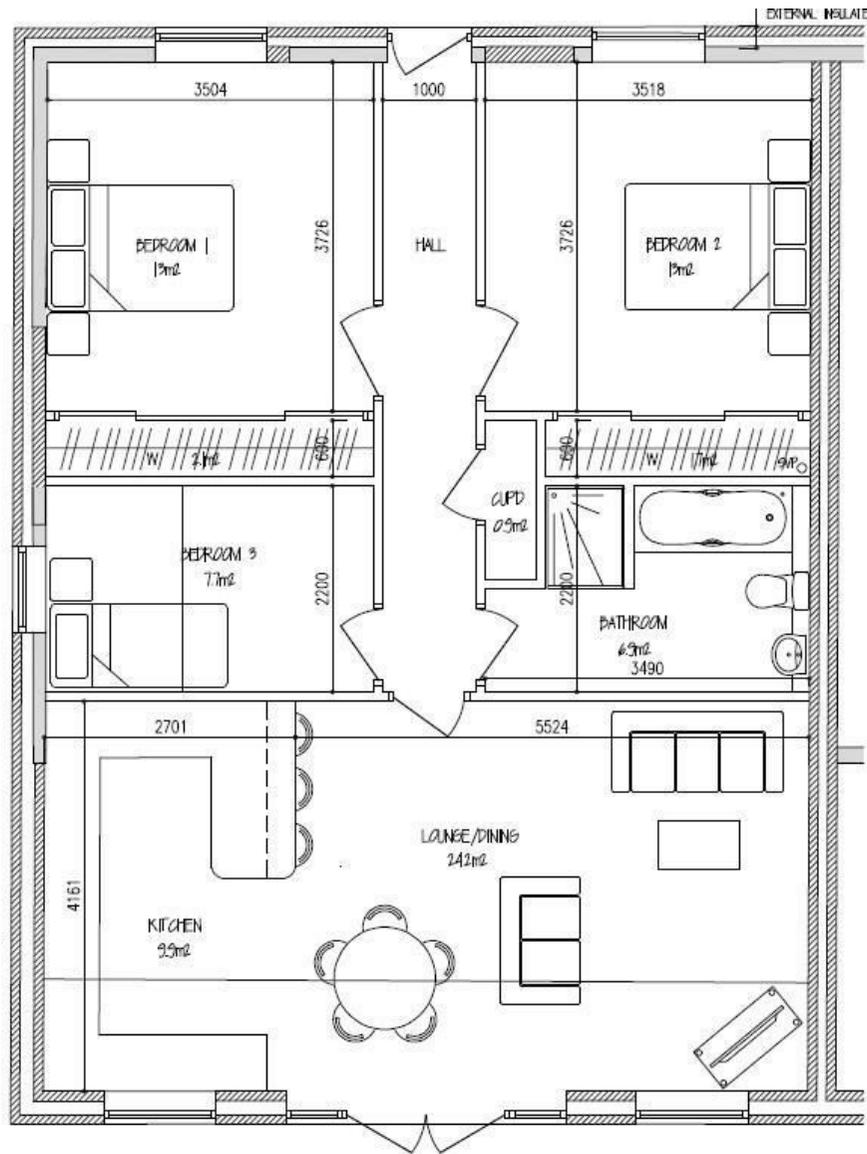
Services; Mains water, electricity and private drainage

Underfloor heating via an air source heat pump

Council tax band; TBC

EPC Rating; TBC





Disclaimer These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property. All measurements and distances are approximate only. Your home is at risk if you do not keep up repayments on a mortgage or other loan secured on it.